



Rizzetta & Company

# **Lake Padgett Estates Independent Special District**

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## **Board of Supervisors Meeting March 16, 2023**

**District Office:  
5844 Old Pasco Road, Suite 100  
Wesley Chapel, FL 33544  
813-994-1001**

**[www.lakepadgettisd.org](http://www.lakepadgettisd.org)**

# **LAKE PADGETT ESTATES INDEPENDENT SPECIAL DISTRICT**

Rizzetta & Company, Inc., 5844 Old Pasco Road, Suite 100, Wesley Chapel, FL 33544

## **Board of Supervisors**

Steven Yarbrough	Chair
Pam Carr	Vice Chair
Lawrence Dunleavy	Assistant Secretary
April Wakefield	Assistant Secretary
Justin Andrews	Assistant Secretary

## **District Manager**

Lynn Hayes	Rizzetta & Company, Inc.
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## **District Counsel**

Tim Hayes	Law offices of Timothy G. Hayes, P.A.
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## **District Engineer**

John Mueller	Landis, Evans & Partner
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**All cellular phones must be placed on mute while in the meeting room.**

The Audience Comment portion of the agenda is where individuals may make comments on matters that concern the District. Individuals are limited to a total of three (3) minutes to make comments during this time.

Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations to participate in this meeting/hearing/workshop is asked to advise the District Office at least forty-eight (48) hours before the meeting/hearing/workshop by contacting the District Manager at (813) 994-1001. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) 1-800-955-8770 (Voice), who can aid you in contacting the District Office.

A person who decides to appeal any decision made at the meeting/hearing/workshop with respect to any matter considered at the meeting/hearing/workshop is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

# LAKE PADGETT ESTATES INDEPENDENT SPECIAL DISTRICT

District Office · Wesley Chapel, Florida (813) 994-1001

Mailing Address · 3434 Colwell Avenue, Suite 200, Tampa, Florida 33614

[WWW.LAKEPADGETTISD.ORG](http://WWW.LAKEPADGETTISD.ORG)

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March 9, 2023

**Board of Supervisors  
Lake Padgett Estates  
Independent Special District**

## **REVISED FINAL AGENDA**

Dear Board Members:

The Audit and Regular Meetings of the Board of Supervisors of Lake Padgett Estates Independent Special District will be held on **Thursday, March 16, 2023 at 6:30 p.m.** at the Lake Padgett Estates Stables Meeting Room, located at 3614 Stable Ridge Lane, Land O' Lakes, FL 34639. The following is the Final Agenda for this meeting:

### **AUDIT COMMITTEE MEETING**

- 1. CALL TO ORDER/ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. BUSINESS ADMINISTRATION**
  - A.** Presentation of Audit Proposal Instructions..... Tab 1
  - B.** Presentation of Audit Evaluation Criteria..... Tab 2
  - C.** Consideration of Audit RFP Advertisement..... Tab 3
- 4. ADJOURNMENT**

### **BOARD OF SUPERVISORS MEETING**

- 1. CALL TO ORDER/ROLL CALL**
- 2. AUDIENCE COMMENTS**
- 3. BUSINESS ADMINISTRATION**
  - A.** Consideration of the Minutes of the Board of Supervisors Regular Meeting held on February 16, 2023..... Tab 4
  - B.** Consideration of the Operation and Maintenance Expenditures for February 2023..... Tab 5
- 4. BUSINESS ITEMS-NONE**

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### 5. STAFF REPORTS

- A. District Engineer Report..... Tab 6
  - 1. E.B.I. Survey -3306 Lake Saxon Drive Trail Encroachments
- B. Maintenance Supervisor Report..... Tab 7
- C. District Counsel..... Tab 8
  - 1. Consideration of the Illegal Parking/Towing Policy
- D. District Manager..... Tab 9**

### 6. SUPERVISOR REQUESTS

- A. Discussion on Gulf Wind and Roach Park Parking
  - 1. Future of Park
  - 2. Signs
- B. Discussion of the Contact Person and Emergency Number After Park Hours

### 7. ADJOURNMENT

We look forward to seeing you at the meeting. In the meantime, if you have any questions, please do not hesitate to contact me at (813)994-1001.

Sincerely,  
[Lynn Hayes](#)  
District Manager

## **Tab 1**

**LAKE PADGETT ESTATES INDEPENDENT  
SPECIAL DISTRICT  
REQUEST FOR PROPOSALS**

**District Auditing Services for Fiscal Years 2023-2027  
Pasco County, Florida**

**INSTRUCTIONS TO PROPOSERS**

**SECTION 1. DUE DATE.** Sealed proposals must be received no later than **April 12, 2023, at 12:00 p.m.**, at the offices of District Manager, located at 5844 Old Pasco Rd, Suite 100, Wesley Chapel, Florida 33544. Proposals will be publicly opened at that time.

**SECTION 2. FAMILIARITY WITH THE LAW.** By submitting a proposal, the Proposer is assumed to be familiar with all federal, state, and local laws, ordinances, rules and regulations that in any manner affect the work. Ignorance on the part of the Proposer will in no way relieve it from responsibility to perform the work covered by the proposal in compliance with all such laws, ordinances and regulations.

**SECTION 3. QUALIFICATIONS OF PROPOSER.** The contract, if awarded, will only be awarded to a responsible Proposer who is qualified by experience and licensing to do the work specified herein. The Proposer shall submit with its proposal satisfactory evidence of experience in similar work and show that it is fully prepared to complete the work to the satisfaction of the District.

**SECTION 4. SUBMISSION OF ONLY ONE PROPOSAL.** Proposers shall be disqualified and their proposals rejected if the District has reason to believe that collusion may exist among the Proposers, the Proposer has defaulted on any previous contract or is in arrears on any previous or existing contract, or for failure to demonstrate proper licensure and business organization.

**SECTION 5. SUBMISSION OF PROPOSAL.** Submit one (1) digital copy and one (1) hard copy of the Proposal Documents, and other requested attachments at the time and place indicated herein, which shall be enclosed in an opaque sealed envelope, marked with the title “Auditing Services – Lake Padgett Estates Independent Special District” on the face of it.

**SECTION 6. MODIFICATION AND WITHDRAWAL.** Proposals may be modified or withdrawn by an appropriate document duly executed and delivered to the place where proposals are to be submitted at any time prior to the time and date the proposals are due. No proposal may be withdrawn after opening for a period of ninety (90) days.

**SECTION 7. PROPOSAL DOCUMENTS.** The proposal documents shall consist of the notice announcing the request for proposals, these instructions, the Evaluation Criteria Sheet and a proposal with all required documentation pursuant to Section 12 of these instructions (the “Proposal Documents”).

**SECTION 8. PROPOSAL.** In making its proposal, each Proposer represents that it has read and understands the Proposal Documents and that the proposal is made in accordance therewith.

**SECTION 9. BASIS OF AWARD/RIGHT TO REJECT.** The District reserves the right to reject any and all proposals, make modifications to the work, and waive any informalities or irregularities in proposals as it is deemed in the best interests of the District.

**SECTION 10. CONTRACT AWARD.** Within fourteen (14) days of receipt of the Notice of Award from the District, the Proposer shall enter into and execute a Contract (engagement letter) with the District.

**SECTION 11. LIMITATION OF LIABILITY.** Nothing herein shall be construed as or constitute a waiver of Districts limited waiver of liability contained in section 768.28, Florida Statutes, or any other statute or law.

**SECTION 12. MISCELLANEOUS.** All proposals shall include the following information in addition to any other requirements of the proposal documents.

- A. List position or title of all personnel to perform work on the District audit. Include resumes for each person listed; list years of experience in present position for each party listed and years of related experience.
- B. Describe proposed staffing levels, including resumes with applicable certifications.
- C. Three references from projects of similar size and scope. The Proposer should include information relating to the work it conducted for each reference as well as a name, address and phone number of a contact person.
- D. The lump sum cost of the provision of the services under the proposal

**SECTION 13. PROTESTS.** Any protest regarding the Proposal Documents, must be filed in writing, at the offices of the District Manager, within seventy-two (72) hours after the receipt of the proposed project plans and specifications or other contract documents. The formal protest setting forth with particularity the facts and law upon which the protest is based shall be filed within seven (7) calendar days after the initial notice of protest was filed. Failure to timely file a notice of protest or failure to timely file a formal written protest shall constitute a waiver of any right to object or protest with respect to aforesaid plans, specifications or contract documents.

**SECTION 14. EVALUATION OF PROPOSALS.** The criteria to be used in the evaluation of proposals are presented in the Evaluation Criteria Sheet, contained within the Proposal Documents.



## Tab 2

## EVALUATION CRITERIA

### 1. *Ability of Personnel.*

**(20 Points)**

(E.g., geographic locations of the firm's headquarters or permanent office in relation to the project; capabilities and experience of key personnel; present ability to manage this project; evaluation of existing work load; proposed staffing levels, etc.)

## 2. *Proposer's Experience.*

**(20 Points)**

(E.g. past record and experience of the Proposer in similar projects; volume of work previously performed by the firm; past performance for other Community Development Districts in other contracts; character, integrity, reputation, of respondent, etc.)

### 3. *Understanding of Scope of Work.*

**(20 Points)**

Extent to which the proposal demonstrates an understanding of the District's needs for the services requested.

#### 4. *Ability to Furnish the Required Services.*

**(20 Points)**

Extent to which the proposal demonstrates the adequacy of Proposer's financial resources and stability as a business entity necessary to complete the services required (E.g. the existence of any natural disaster plan for business operations).

## 5 Price

**(20 Points)**

Points will be awarded based upon the price bid for the rendering of the services and reasonable ness of the price to the services

**Total**

**(100 Points)**

## Tab 3

## **LAKE PADGETT ESTATES INDEPENDENT SPECIAL DISTRICT REQUEST FOR PROPOSALS FOR ANNUAL AUDIT SERVICES**

The Lake Padgett Estates Independent Special District hereby requests proposals for annual financial auditing services. The proposal must provide for the auditing of the District's financial records for the Fiscal Years ending September 30, 2023, 2024, 2025, 2026, 2027. The District is a single purpose local government created under Chapter 189, Florida Statutes, for the purpose of operating, maintaining, and improving public infrastructure. The District was created by the Florida Legislature in 2006 and its sole purpose is to operate, maintain and improve the recreational amenities and associated infrastructure of the parks within Lake Padgett Estates in Pasco County, Florida. Residents within Lake Padgett Estates pay an annual special assessment to the District to cover the costs for the operation, maintenance and improvement of these parks and associated recreational facilities. For fiscal year 2022/2023, the District had a total annual operating budget of approximately \$595,279.00. The final contract will require that among other things, the audit for the fiscal year ending September 30, 2023 be completed no later than June 30, 2024.

The auditing entity submitting a proposal must be duly licensed under Chapter 473, Florida Statutes, and be qualified to conduct audits in accordance with "Government Auditing Standards," as adopted by the Florida Board of Accountancy. Audits shall be conducted in accordance with Florida law and particularly Section 218.39, *Florida Statutes*, and the rules of the Florida Auditor General.

Proposal packages, which include evaluation criteria and instructions to proposers, are available from the District Manager at the address and telephone number listed below.

Proposers must provide one (1) hard copy of their proposal and one (1) Adobe PDF file on flash drive using **ONLY** the following delivery methods, UPS, FedEx or Hand Delivery to Rizzetta & Company, Inc, 5844 Old Pasco Road, Suite 100, Wesley Chapel, FL 33544, in a sealed envelope marked on the outside "Auditing Services – Lake Padgett Estates Independent Special District." **Proposals must be received by 12:00 p.m. on April 12, 2023** at the office of the District Manager. Please direct all questions regarding this Notice to the District Manager.

Lake Padgett Estates Independent Special District  
Lynn Hayes, District Manager

Run Date: 03/22/2023

## Tab 4

**MINUTES OF MEETING**

*Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.*

**LAKE PADGETT INDEPENDENT SPECIAL DISTRICT**

The Regular Meeting of the Board of Supervisors of Lake Padgett Estates Independent Special District was held on **Thursday, February 16, 2023, at 6:30 p.m.** at the Lake Padgett Estates Stables Meeting Room, located at 3614 Stable Ridge Lane, Land O' Lakes, FL 34639.

**Present and constituting a quorum:**

Steven Yarbrough	<b>Board Supervisor, Chair</b>
Pamela Carr	<b>Board Supervisor, Vice Chair</b>
Justin Andrews	<b>Board Supervisor, Assistant Secretary</b> <i>(joined meeting at 6:53 p.m.)</i>
Larry Dunleavy	<b>Board Supervisor, Assistant Secretary</b>
April Wakefield	<b>Board Supervisor, Assistant Secretary</b>

**Also present were:**

Lynn Hayes	<b>District Manager, Rizzetta &amp; Company, Inc.</b>
John Mueller	<b>District Engineer, Landis Evans &amp; Partner</b>
Tim Hayes	<b>District Counsel, Law Offices of Tim G. Hayes</b>
Steve Rowell	<b>Maintenance Supervisor, Lake Padgett ISD</b>
Audience	<b>Present</b>

**FIRST ORDER OF BUSINESS**

**Roll Call**

Mr. Lynn Hayes performed roll call and confirmed that a quorum was met. The meeting began at 6:33 p.m.

**SECOND ORDER OF BUSINESS**

**Pledge of Allegiance**

The Pledge of Allegiance was recited.

**THIRD ORDER OF BUSINESS**

**Audience Comments**

The Lake Padgett Civic Association President told the Board that the Board that they have completed their monthly calendar of events and that she would send this monthly calendar by email to the District Manager.

**FOURTH ORDER OF BUSINESS**

**Consideration of the Board of Supervisors  
Regular Meeting Minutes of the January 19,  
16, 2023**

Mr. Lynn Hayes presented to the Board of Supervisors the Regular Meeting Minutes from the January 19, 2023 meeting and asked if there were any changes or corrections.

On a Motion by Ms. Pamela Carr and seconded by Ms. April Wakefield, with all in favor, the Board of Supervisors approved the January 19, 2023 Regular Meeting Minutes, as amended, for the Lake Padgett Estates Independent Special District.

**FIFTH ORDER OF BUSINESS**

**Discussion on adding No Parking signs to  
Roach Park**

A discussion by the Board ensued and they want to add No Parking/Towing signs to Roach Park. The Board requested that the District Manager and Maintenance Supervisor get a sign quote and find a towing company and get an agreement to review.

**SEVENTH ORDER OF BUSINESS**

**Consideration of Resolution 2023-02;  
Designating Officers of the District**

On a Motion by Mr. Justin Andrews and seconded by Mr. Larry Dunleavy, with all in favor, the Board of Supervisors appointed Mr. Steven Yarbrough as Chairperson, Ms. Pamela Carr as Vice Chairperson, Mr. Larry Dunleavy as Assistant Secretary, Ms. April Wakefield as Assistant Secretary, Mr. Justin Andrews as Assistant Secretary, Mr. Lynn Hayes as Assistant Secretary and Mr. Darryl Adams as Assistant Secretary, for the Lakeside Community Development District.

On a Motion by Ms. Pamela Carr and seconded by Mr. Justin Andrews, with all in favor, the Board of Supervisors, adopted Resolution 2023-02; Designating Officers of the District, as presented, for the Lake Padgett Estates Independent Special District.

**EIGHTH ORDER OF BUSINESS**

**Consideration of the Operation and  
Maintenance Expenditures for January 2023**

Mr. Lynn Hayes asked the Board of Supervisors for a motion to ratify the Operation and Maintenance Expenditures for January 2023.

On a Motion by Ms. Pamela Carr and seconded by Mr. Larry Dunleavy, with all in favor, the Board of Supervisors, ratified the Operation and Maintenance Expenditures for January 2023 (\$32,859.47), as presented, for the Lake Padgett Estates Independent Special District.

**NINTH ORDER OF BUSINESS**

**Discussion of Woodward Estate Property**

Tom Kersting, Managing Director Franklin Street and David Berner, Southeast Land Consultants reviewed their talking points of Private Driveway within the Woodward Property Connecting The Estate Lots to Rain Forest Place, Green Space along Lake Padgett for Woodward Property Estate Owners, Request Acceptance in Lake Padgett Special Tax District, and Request Access from Rain Forest Place with the Board and residents. Tom Kersting, Managing Director Franklin Street and David Berner, Southeast Land Consultants fielded questions from the Board and residents present and answered their questions.

**TENTH ORDER OF BUSINESS**

**Staff Reports**

**A. District Engineer**

Mr. John Mueller presented his report and provided updates on Beach Testing, Lake Saxon Trail encroachments, and Pasco County Drainage Improvements.

**B. Maintenance Supervisor**

Mr. Steve Rowell presented his report.

**C. District Counsel**

Mr. Tim Hayes explained to the Board of Supervisors the Impact Statement from Rizzetta & Company, Inc. Finance Department regarding staggered Board of Supervisor terms. He stated that the next step is that the Impact Statement will go to the State of Florida Legislative Delegation.

**D. District Manager**

Mr. Lynn Hayes presented his report to the Board of Supervisors and announced that the next special meeting will be on March 16, 2023, at 6:30 p.m. at the Lake Padgett Estates Stables Meeting Room, located at 3614 Stable Ridge Lane, Land O' Lakes, FL 34639.

**ELEVENTH ORDER OF BUSINESS**

**Consideration of Establishment of the Audit Committee**

Mr. Lynn Hayes asked the Board of Supervisors for a motion to appoint the Board of Supervisors as the Audit Committee.

On a Motion by Ms. Pamela Carr and seconded by Ms. April Wakefield, with all in favor, the Board of Supervisors, appointed the Board of Supervisors as the Audit Committee, for the Lake Padgett Estates Independent Special District.



**TWELFTH ORDER OF BUSINESS      Supervisor Requests**

The Board of Supervisors requested that a Discussion of the Contact Person and Emergency Number After Park Hours be on the March 16, 2023 Lake Padgett Estates Independent Special District meeting agenda.

**THIRTEETH ORDER OF BUSINESS      Adjournment**

Mr. Lynn Hayes stated that if there was no further business to come before the Board of Supervisors, then a motion to adjourn would be in order.

On a Motion by Ms. Pamela Carr and seconded by Ms. April Wakefield, with all in favor, the Board of Supervisors adjourned the meeting at 8:25 p.m., for the Lake Padgett Estates Independent Special District.

\_\_\_\_\_  
Assistant Secretary/Secretary

\_\_\_\_\_  
Chair/Vice Chair

## **Tab 5**

# LAKE PADGETT ESTATES ISD

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District Office · Wesley Chapel, Florida · (813) 994-1001  
Mailing Address - 3434 Colwell Avenue, Suite 200, Tampa, Florida 33614  
[www.lakepadgettisd.org](http://www.lakepadgettisd.org)

## **Operation and Maintenance Expenditures February 2023 For Board Approval**

Attached please find the check register listing the Operation and Maintenance expenditures paid from February 1, 2023 through February 28, 2023. This does not include expenditures previously approved by the Board.

The total items being presented:    **\$ 26,908.72**

Approval of Expenditures:

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\_\_\_\_\_ Chairperson

\_\_\_\_\_ Vice Chairperson

\_\_\_\_\_ Assistant Secretary

# LAKE PADGETT ESTATES ISD

## Paid Operation & Maintenance Expenditures

February 1, 2023 Through February 28, 2023

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
ADP Easypay	ACH	624808591	Year End W-2 Statements 2022	\$ 81.90
ADP Easypay	ACH	625212692	Benefits Package 01/23	\$ 20.00
ADP Easypay	ACH	625634922	PPE 01/29/23 PPD 02/03/23 Fees	\$ 121.69
ADP Easypay	ACH	626225229	Benefits Package 02/23	\$ 20.00
ADP Easypay	ACH	626751777	PPE 02/12/23 PPD 02/17/23 Fees	\$ 121.69
ADP Easypay	ACH	627089244	Time & Attendance 02/23	\$ 42.46
ADP Easypay	ACH	PPE 01/29/23 PPD 02/03/23	PPE 01/29/23 PPD 02/03/23	\$ 3,589.72
ADP Easypay	ACH	PPE 02/12/23 PPD 02/17/23	PPE 02/12/23 PPD 02/17/23	\$ 3,613.98
April D Wakefield	100104	AW021623	Board of Supervisors Meeting 02/16/23	\$ 200.00
Duke Energy	ACH	9100 8816 3760 01/23 Autopay 320	22140 Coldstream Rd 01/23	\$ 65.68

# LAKE PADGETT ESTATES ISD

## Paid Operation & Maintenance Expenditures

February 1, 2023 Through February 28, 2023

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Duke Energy	ACH	9300 0001 2893 12/22 Autopay 320	Summary Bill 12/22	\$ 906.02
Florida Blue	100100	76236744	Health Insurance 02/15/23 - 03/15/23	\$ 2,790.67
Florida Department of Revenue	100102	61-8018349567-4 Sales & Use Tax 01/23	Sales & Use Tax 01/23	\$ 17.01
Frontier Florida, LLC	ACH	021920-5 02/23 Auto-Pay 320	210-043-0055-021920-5 02/23	\$ 821.44
Frontier Florida, LLC	ACH	0414020-5 01/23 Autopay 320	813-995-2205-0414020-5 01/23	\$ 91.68
GLF Water, Inc.	100096	14096	Monthly Service 02/23	\$ 85.00
Justin Andrews	100105	JA021623	Board of Supervisors Meeting 02/16/23	\$ 200.00
Lawrence Dunleavy	100106	LD021623	Board of Supervisors Meeting 02/16/23	\$ 200.00
Lowe's	100101	9900 929490 3 01/23	Misc Supplies 01/23	\$ 475.19

# LAKE PADGETT ESTATES ISD

## Paid Operation & Maintenance Expenditures

February 1, 2023 Through February 28, 2023

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Pam Carr	100107	PC021623	Board of Supervisors Meeting 02/16/23	\$ 200.00
Pasco County Utilities	100111	17575767	#0361035 Civic Center Pkwy 11/22	\$ 42.71
Pasco County Utilities	100097	17888157	#0361035 Civic Center Pkwy 01/23	\$ 73.28
Pasco County Utilities	100111	18030722	#0361035 Civic Center Pkwy 02/23	\$ 40.66
Republic Services	ACH	0762-003231698 Autopay 320	Waste Management Services 02/23	\$ 681.70
Rizzetta & Company, Inc.	100095	INV0000075304	District Management Services 02/23	\$ 4,552.50
Roger's Dirt Works, Inc.	100108	12285	Mason Sand 02/23	\$ 500.00
Southern Automated Access Services, LLC	100098	12351	Boat Dock Swing Gate Repairs 01/23	\$ 1,067.50
Southern Automated Access Services, LLC	100098	12355	Gate Preventative Maintenance 01/23	\$ 275.00
Southern Automated Access Services, LLC	100098	12356	Gate Preventative Maintenance 01/23	\$ 275.00

# LAKE PADGETT ESTATES ISD

## Paid Operation & Maintenance Expenditures

February 1, 2023 Through February 28, 2023

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Southern Automated Access Services, LLC	100098	12357	Gate Preventative Maintenance 01/23	\$ 275.00
Southern Automated Access Services, LLC	100098	12358	Gate Preventative Maintenance 01/23	\$ 275.00
Southern Automated Access Services, LLC	100103	12378	Gate Preventative Maintenance 02/23	\$ 95.00
Southern Automated Access Services, LLC	100103	12379	Gate Preventative Maintenance 02/23	\$ 240.00
Stealth Security Consultants, LLC	100110	1054-RC	Monthly Security Officer 03/23	\$ 2,312.00
Steven Allen Yarbrough	100109	SY021623	Board of Supervisors Meeting 02/16/23	\$ 200.00
Timothy G. Hayes & Associates	100099 #BV0000393523	316	Legal Services 01/23	\$ 2,238.50
Verizon Wireless	51	9927219037	Staff Cell Phones 02/23	<u>\$ 100.74</u>
<b>Report Totals</b>				<u><u>\$ 26,908.72</u></u>

## Tab 6





March 2, 2023

Lynn Hayes  
Lake Padgett Estates Independent Special District  
C/O Rizzetta & Company, Inc.  
5844 Old Pasco Road, Suite 100  
Wesley Chapel, Florida 33544  
Via email: mlamberti@rizzetta.com

RE: District Engineer Report – March 2023

Dear Mr. Hayes:

1) Beach Testing

Awaiting next batch of testing results expected in March.

2) Saxon Trail Encroachments

Survey of the trail and encroachments was received on 3/2/2023. A pdf of the survey is attached. In addition to the pdf, an AutoCAD drawing file of the survey was also received. Also, attached is a copy of the email sent to Lynn Hayes and Time Hayes with observations made from the survey regarding the trail and encroachments.

3) Pasco County Drainage Improvements

No current updates.

There are no current tasks or assignments.

Sincerely,

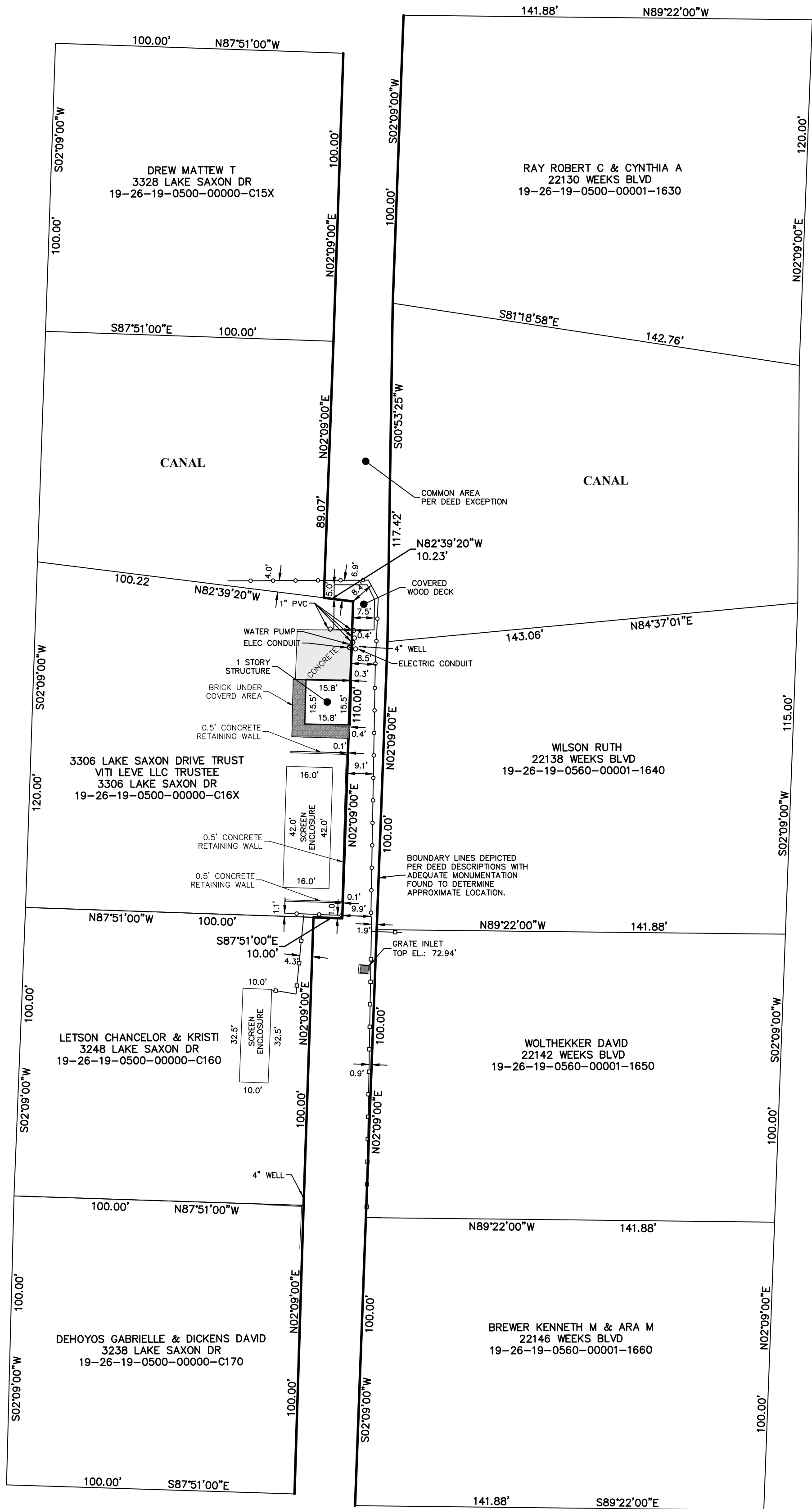
John J. Mueller, PE  
Landis Evans and Partners, Inc.



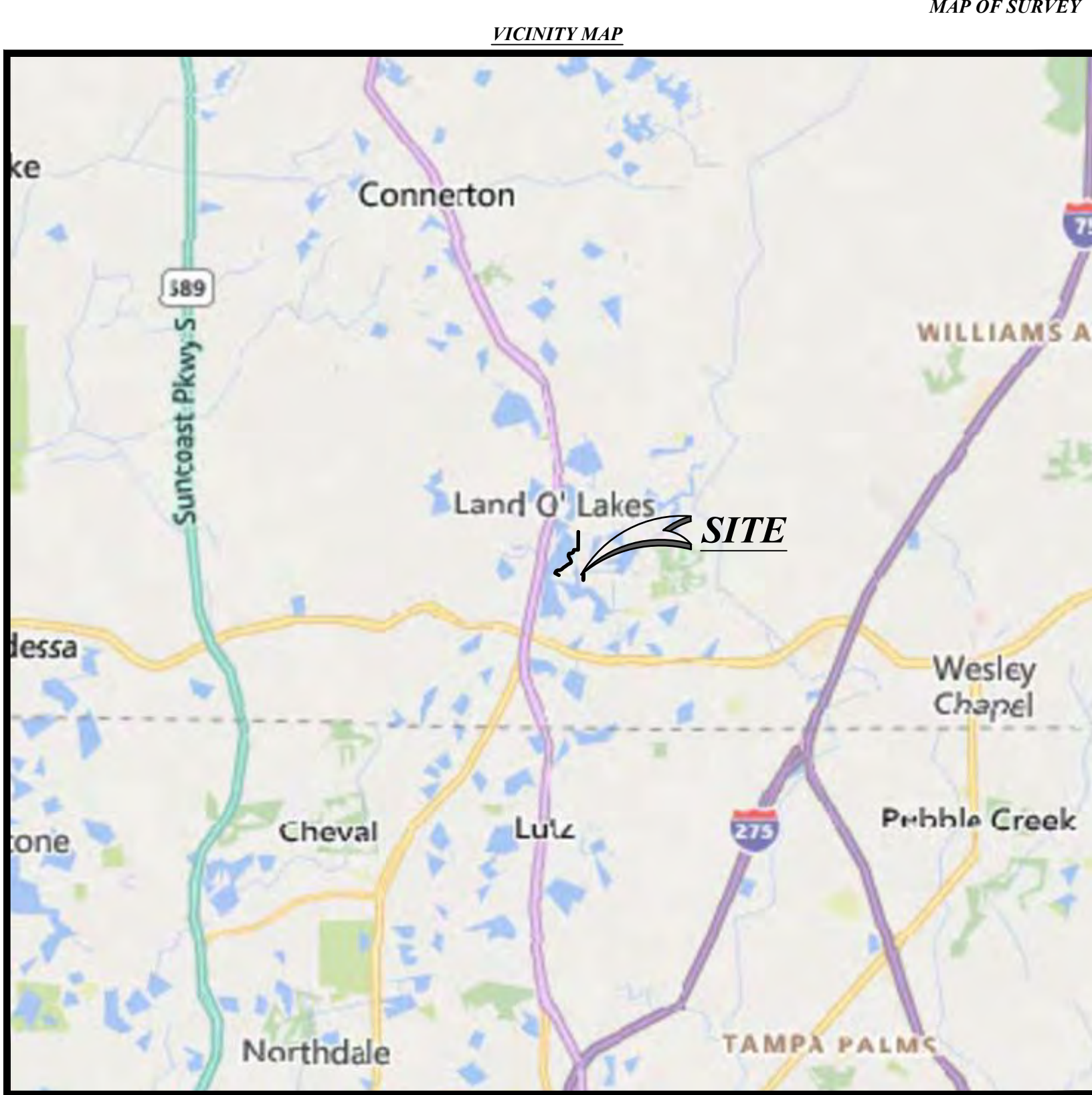
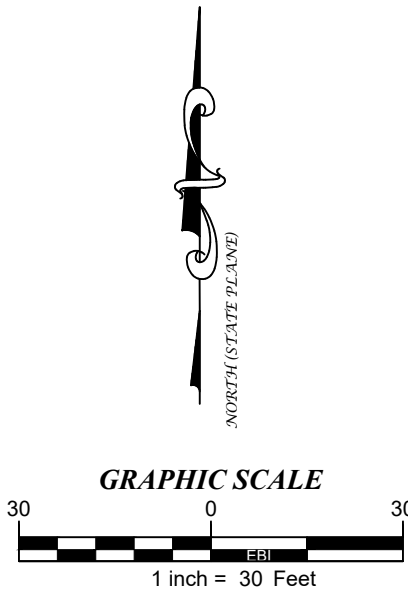
SURVEY REPORT:

- UNLESS DIGITALLY SIGNED AND SEALED, THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS OFFICE HAS NOT ABSTRACTED THE SUBJECT PARCEL FOR ANY RECORDED CLAIMS OF TITLE EASEMENTS OR RESTRICTIONS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT CERTIFIED HEREON.
- NO UNDERGROUND IMPROVEMENTS OR UTILITIES WERE LOCATED EXCEPT THOSE SHOWN HEREON.
- UNLESS NOTED OTHERWISE, NO UNDERGROUND FOUNDATIONS WERE LOCATED.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK REFLECTED HEREON.
- NO ZONING LETTER OR REPORT WAS PROVIDED.
- INVERSE DIMENSIONS (I.E. NORTHEAST VS. SOUTHWEST) ARE NOT SHOWN ON COINCIDENTAL LINES WHICH ARE DEFINED IN BOTH DIRECTIONS BY DIFFERENT DOCUMENTS. IT IS HEREBY ADVISED THAT THE USER OF THIS DOCUMENT BE AWARE THAT A LINE DIMENSIONED N87°51'00"W IS ONE IN THE SAME AS A LINE DIMENSIONED S87°51'00"E.
- BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983, ADJUSTMENT OF 2011, FLORIDA WEST ZONE.
- THE PURPOSE OF THE SURVEY REFLECTED HEREON IS TO IDENTIFY THE LOCATION OF THE IMPROVEMENTS WITHIN OR NEAR THE ALLEYWAY BETWEEN THE DEEDED BOUNDARY LINES. A COMBINATION OF FIELD RECONNAISSANCE AND DESCRIPTION PLOTTING WAS USED TO DETERMINE THE LOCATION OF THE DEED LINES SHOWN HEREON.

LAKE SAXON DRIVE



WEEKS BOULEVARD



SITE PHOTOGRAPH



LEGEND	
ABBREVIATIONS	
AC	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT
ID	IDENTIFICATION
(C)	CALCULATED MEASUREMENT
CL	CLEAN CUT
CONC	CONCRETE
COW	CONCRETE SIDEWALK
(D)	DEED/DESCRIPTION DATA
EB	ELECTRIC BOX
EM	ELECTRIC METER
(E)	FIELD MEASUREMENT
FL	FLORIDA DEPARTMENT OF TRANSPORTATION
F2	FINISHED FLOOR
FOR	FOUND CORRODED IRON ROD
FCM	FOUND CONCRETE MONUMENT
FP	FOUND IRON PIPE
FR	FOUND IRON ROD
FND	FOUND NAIL AND DISK
FPP	FOUND PINCHED PIPE
ICV	IRRIGATION CONTROL VALVE
IMU	INVEST
LB	LICENSED BUSINESS NUMBER
LP	LOFT POLE
LS	LICENSED SURVEYOR
MW	MONITORING WELL
NAD	NORTH AMERICAN VERTICAL DATUM
NOVD	NATIONAL GEODETIC VERTICAL DATUM
OW	OVERSIZED WIRE
ORB	OFFICIAL RECORDS BOOK
(P)	PLAT MEASUREMENT - CALL
PP	POWER POLE
PSM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
P/W	RIGHT-OF-WAY
SCOR	SET CAPPED IRON ROD
SND	SET NAIL AND DISK
SV	SEWER VALVE
TSW	TEMPORARY BENCHMARK
WM	WATER METER
WV	WATER VALVE
SYMBOLS	
BACKFLOW PREVENTION DEVICE	TREE LOCATION (SIZE AND TYPE AS NOTED)
CABLE RISER	UTILITY FLAG ELECTRIC
GRATE INLET	UTILITY FLAG COMMUNICATIONS
SANITARY SEWER STRUCTURE	UTILITY FLAG GAS
SPOT ELEVATION	UTILITY FLAG RECLAIMED WATER
STORM STRUCTURE	UTILITY FLAG SANITARY/STORM SEWER
TELEPHONE PEDESTAL	UTILITY FLAG WATER
TRAFFIC SIGNAL JUNCTION BOX	WOOD FENCE
TRAFFIC SIGNAL POLE (UNLESS OTHERWISE DESIGNATED)	METAL FENCE
FIRE HYDRANT	PVC FENCE
SHOULDER	
BOULEVARD	

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE REQUIREMENTS OF CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

Digitally signed  
by Thomas Serbu  
Date: 2023.02.28  
15:20:43 -05'00'

DATE SIGNED: 2/28/2023

THOMAS PATRICK SERBU  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NUMBER LS-4744  
EMAIL: thomas@ebisurveying.com

REVISIONS: APPD.

DATE OF SURVEY: 2/10/2023  
DRAWN: EWB/SDN  
CHECKED: TPS  
REVISION:  
FILE: LP01ALTAX.dwg

PROJECT NUMBER:  
LPSD0001

SHEET NO.

1  
OF 1

SPECIAL PURPOSE SURVEY  
A PORTION OF LAKE PADGETT ESTATES  
SOUTH SHORES 2ND ADDITION, UNRECORDED PLAT  
PASCO COUNTY  
FLORIDA

EBI Surveying  
8415 Sunstate Street  
Tampa, Florida 33634  
Phone: (813) 886-0080 / Fax: (813) 886-0081  
Certificate of Authorization Number: LB-7652



## John Mueller

---

**From:** John Mueller  
**Sent:** Thursday, March 2, 2023 9:20 AM  
**To:** Lynn Hayes; Tim Hayes  
**Subject:** 3306 Lake Saxon Drive Trail Encroachments  
**Attachments:** LP01ALTAX 02-28-23.pdf; LP01ALTAX.dwg; 17667.pdf

Good morning Gents. Attached are the files for the trail survey behind 3306 Lake Saxon Dr. My observations:

- 1) Unfortunately, it does appear that the boundary of 3306 does extend further than the other lots thereby narrowing the trail.
- 2) There is an extensive amount of fencing within the trail area and a covered wood deck in addition to a potable well and some of its appurtenances.
- 3) The 9.9 dimension at the south corner obscures the linework, but the fence does cross and block the trail.
- 4) There are a number of structures/features that are right on or in close proximity to the property line. These are likely non-conforming as they are probably within the building setbacks. I attempted to quickly find out the zoning to determine the setbacks, but the area is a Planned Development Zoning District that is a site-specific zoning district which is not published in the code with the standard Euclidian zoning districts. I would need to request the zoning documents from the County.



**John Mueller, P.E.**  
Senior Civil Engineer

**Landis Evans + Partners**  
*formerly Sprinkle Consulting*  
p: 813.949.7449  
d: 813.527.9484  
[www.landisevans.com](http://www.landisevans.com)

---

**From:** Daniel Thompson <daniel@ebisurvey.com>  
**Sent:** Thursday, March 2, 2023 7:51 AM  
**To:** Eric Blackburn <ewb@ebisurvey.com>; John Mueller <jmueller@landisevans.com>  
**Cc:** Lynn Hayes <LHayes@rizzetta.com>  
**Subject:** RE: [EXTERNAL]RE: Request for proposal

Good morning,

Please see attached survey map and invoice.

Thank you,

Daniel Thompson  
Office Manager  
EBI Surveying  
8415 Sunstate Street

## John Mueller

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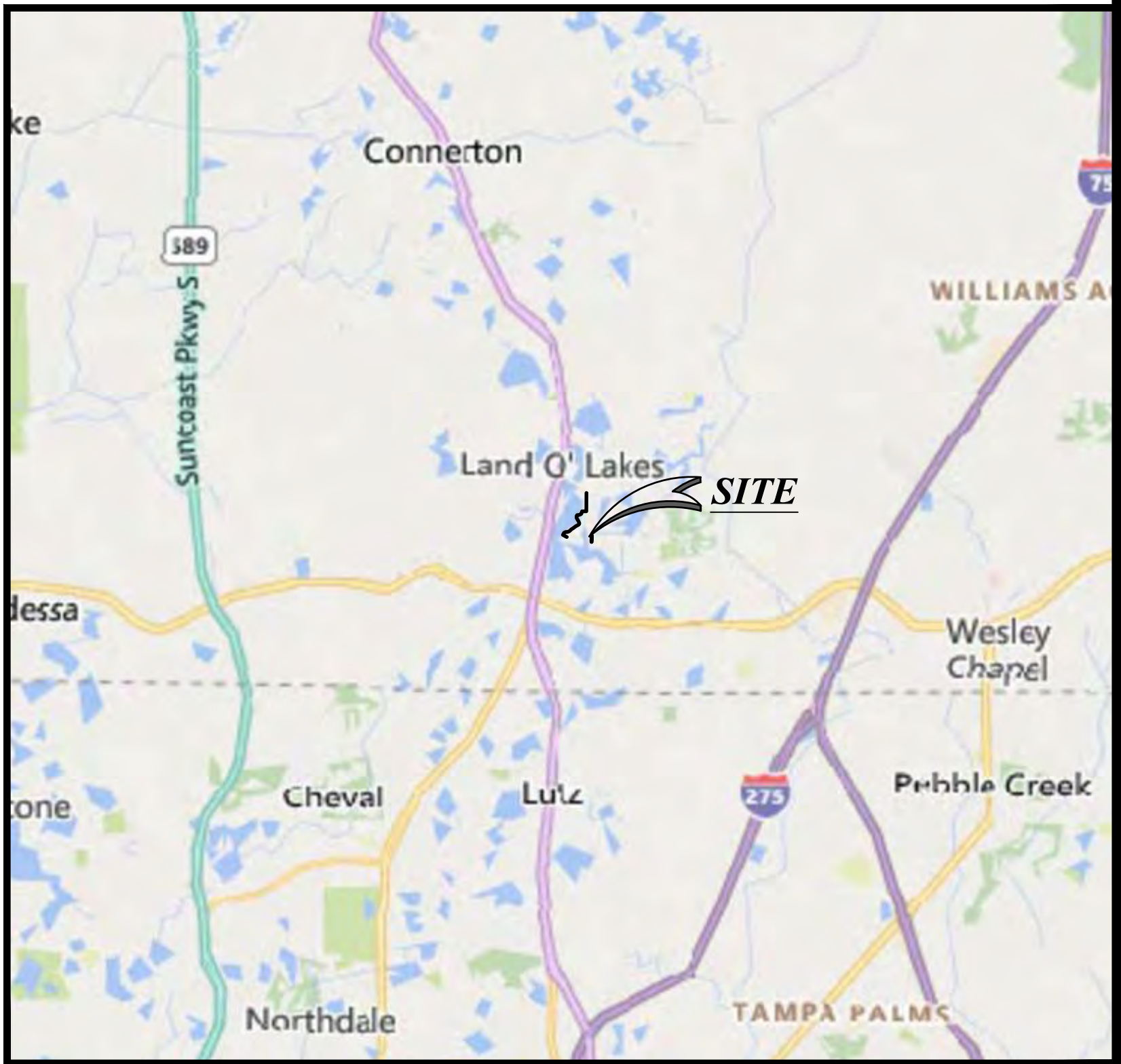
Good morning,

Please see attached survey map and invoice.

Thank you,

Daniel Thompson  
Office Manager  
EBI Surveying  
8415 Sunstate Street





**SITE PHOTOGRAPH**

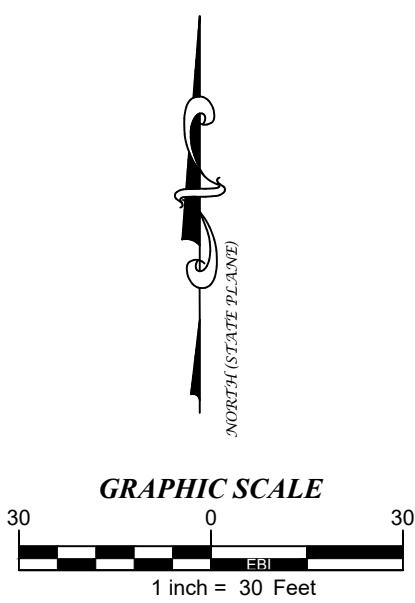
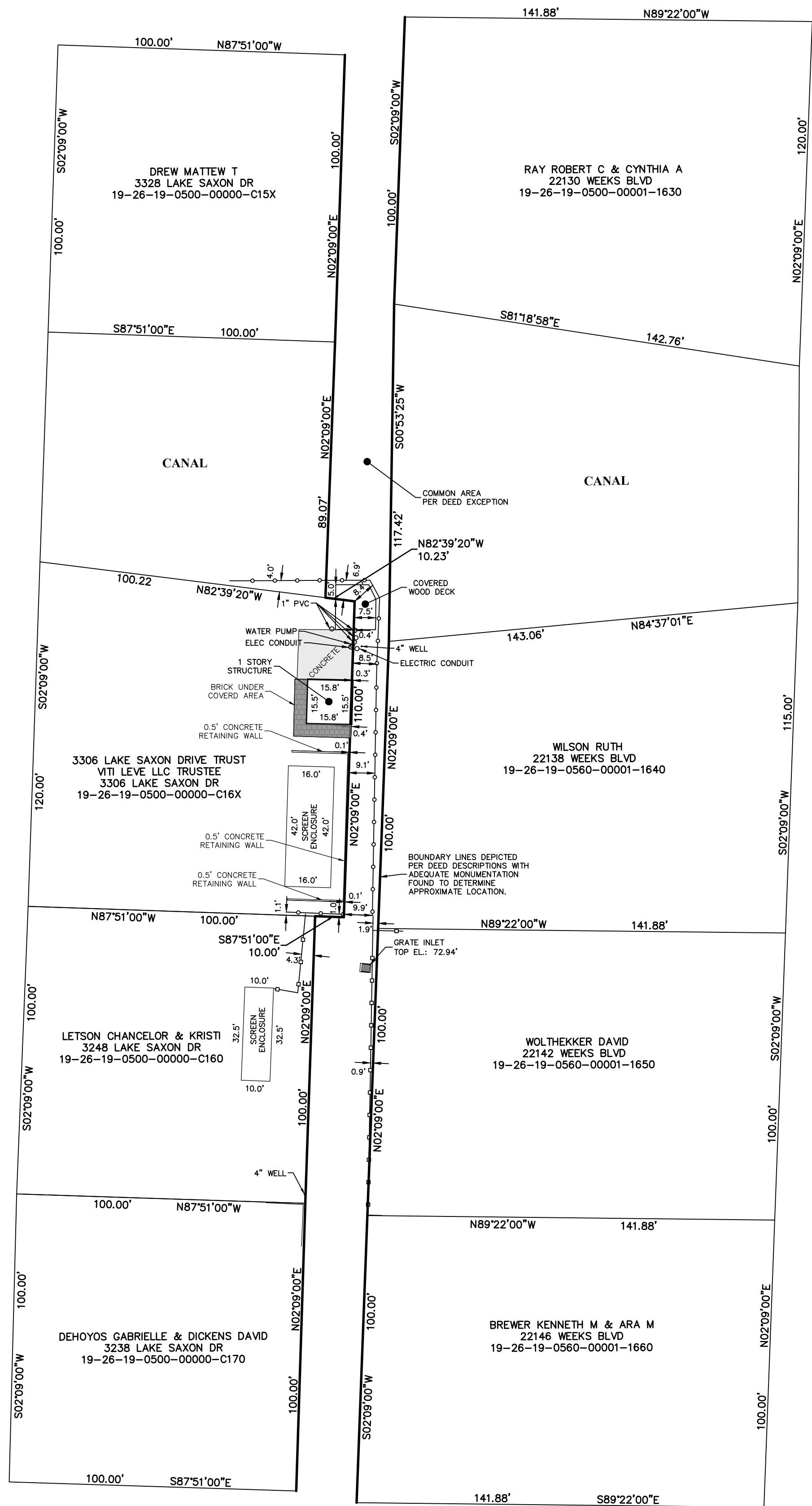


SURVEY REPORT:

- UNLESS DIGITALLY SIGNED AND SEALED, THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA SURVEYOR. ANY REPRODUCTION OF THIS SURVEY MAP AND/OR REPORT MADE BY ANY MEANS OR BY OTHER THAN THE SIGNED PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYOR.
2. THIS OFFICE HAS NOT ABSTRACTED THE SUBJECT PARCEL FOR ANY RECORDED CLAIMS OF TITLE EASEMENTS OR RESTRICTIONS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT GUARANTEED.
3. NO UNDERGROUND IMPROVEMENTS OR UTILITIES WERE LOCATED EXCEPT THOSE SHOWN HEREON.
4. UNLESS NOTED OTHERWISE, NO UNDERGROUND FOUNDATIONS WERE LOCATED.
5. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING COLLAPSE THAT THE USER OF THIS DOCUMENT BE AWARE THAT A LINE DIMENSIONED HEREON IS NOT TO SCALE.
6. NO ZONING LETTER OR REPORT WAS PROVIDED.
7. INVERSE DIMENSIONS (I.E. NORTHEAST VS SOUTHWEST) ARE NOT SHOWN ON CONVENTIONAL LINES WHICH ARE DEFINED IN BOTH DIRECTIONS BY DIFFERENT DOCUMENTS. IT IS HEREBY ADVISED THAT THE USER OF THIS DOCUMENT BE AWARE THAT A LINE DIMENSIONED N87°51'00" IS ONE IN THE SAME AS A LINE DIMENSIONED S87°51'00".
8. BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH 0°00'00" = 1901.1°00'00" TRUE.
9. THE PURPOSE OF THIS SURVEY REFLECTED HEREON IS TO IDENTIFY THE LOCATION OF THE IMPROVEMENTS WITHIN OR NEAR THE ALLEYWAY BETWEEN THE DEEDED BOUNDARY LINES. A COMBINATION OF FIELD RECONNAISSANCE AND DESCRIPTION PROVIDED WAS USED TO LOCATE THE IMPROVEMENTS.














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



**WEEKS BOULEVARD**


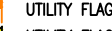
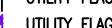


# LEGEND

ABBREVIATIONS			
AC	AIR CONDITIONER	ICV	IRIGATION CONTROL VALVE
AD	AMERICANS WITH DISABILITIES ACT	INV	INVERT
ED	EMERGENCY DRILL	LS	LISTED SURVEYOR
(C)	CALCULATED MEASUREMENT	LN	LOGGING NUMBER
CD	CLEAN OUT	LP	LIGHT POLE
CSW	COUNTY CROWN WALL	LS	LICENSED SURVEYOR
(D)	DEVELOPMENT DATA	MS	MEASURING SURVEY
EB	ELECTRIC BOX	NAD	NORTH AMERICAN VERTICAL DATUM
EC	ELECTRIC CABLE	NAD	NORTH AMERICAN GEODETIC VERTICAL DATUM
EM	ELECTRIC METER	OH	OVERHEAD WIRE
EP	ELECTRIC POLE	ORF	OFFICIAL RECORDS BOOK
FD	FOUND	(P)	PERMANENT - CALL
FD	FOUND	PM	PERMANENT REFERENCE MONUMENT
FD	FOUND	PR	PROFESSIONAL SURVEYOR & MAPPER
F.F.	FINISHED FLOOR	R/B	R/OBT - R/WBY
F.F.	FOUND DAMPED IRON ROD	SC	SEWER COVER
FP	FOUND FINISHED FLOOR	SC	SEWER MAIN AND DISK
FP	FOUND IRON PIPE	SE	SEWER MAIN
FP	FOUND IRON ROD	SE	SEWER MAIN
FP	FOUND MAIN AND DISK	SB	SEWER BENCH MARK
FP	FOUND FINISHED FLOOR	WM	WATER METER
FP	FOUND FINISHED FLOOR	WV	WATER VALVE

SYMBOLS	
	BACKFLOW PREVENTION DEVICE
	CABLE RISER
	CANAL INLET
	SEWARY SURVEY STRUCTURE
	SPOT ELEVATION
	STORM STRUCTURE
	TRAFFIC SIGNAL PEDESTAL
	TRAFFIC SIGNAL JUNCTION BOX
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL (DESIGNATED)
	FIRE HYDRANT
	SEWER
	BOLLARD

TREE LOCATION (SIZE AND TYPE AS NOTED)	
	UTILITY FLAG ELECTRIC
	UTILITY FLAG COMMUNICATIONS
	UTILITY FLAG GAS
	UTILITY FLAG RECLAIMED WATER
	UTILITY FLAG SANITARY/STORM SEWER
	UTILITY FLAG WATER

	WOOD FENCE
	METAL FENCE
	PVC FENCE

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE REQUIREMENTS OF CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

THOMAS PATRICK SERBU  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NUMBER LS-4744  
EMAIL: [thomas@ebisurvey.com](mailto:thomas@ebisurvey.com)

SPECIAL PURPOSE SURVEY  
A PORTION OF LAKE PADGETT ESTATES  
SOUTH SHORES 2ND ADDITION, UNRECORDED PLAT  
PASCO COUNTY  
FLORIDA

REVISIONS: APPD.

DATE OF SURVEY: 2/10/2023  
DRAWN: EWB/SDN  
CHECKED: TPS  
REVISION:  
FILE: LP01ALTAX.dwg

PROJECT NUMBER

SHEET NO.



## **Tab 7**

# LAKE PADGETT ESTATES INDEPENDENT SPECIAL DISTRICT

---

DISTRICT OFFICE · 5844 OLD PASCO ROAD · SUITE 100 · WESLEY CHAPEL, FLORIDA 33544  
MAILING ADDRESS · 3434 COLWELL AVENUE · SUITE 200 · TAMPA, FLORIDA 33614

- As well as general lawn and weed maintenance janitorial duties clerical work, and meeting with residents for new decals gate keys the following maintenance repairs have been completed from 2/09/23.to date
  - Finish storage room in meeting room.
  - At padgett park repaired damaged dock from boaters.
  - Painted cabana tables and benches at laird park.
  - At Saxon Park, Installed power supply to new camera housing encloser.
  - At stables Installed new toilet seat and flush handle.
  - Treated pond at stables for excessive spatterdock lilies.
  - Contacted various vehicle tow companies for tow away service through ISD property.
  - Pressure washed fencing at padgett park.
  - Pressures washed cabanas at laird park.
  - Pressure washed cabanas at padgett park.
  - Treated padgett park for ant mounds.
  - At Saxon Park Ran cat 6 wiring on outside of bathrooms for cameras,
  - Pressure washed section of perimeter fencing at stables.
  - Ordered new tires for lawn mower.
  - At laird park removed large leaning dead pine tree .

## Tab 8



**LPEISD Towing Policy for illegally parked vehicles on LPEISD property.**

Definitions: For purposes of this policy the following definitions shall apply:

**ILLEGALLY PARKED –**

1. Vehicles parked on LPEISD property outside of designated parking areas;
2. Vehicles parked on LPEISD property that block driveways or access points;
3. Vehicles left on LPEISD property overnight or after normal operating hours;
4. Vehicles owned by non-residents who are not guests of residents, regardless of being parked in legally designated areas or otherwise.

**VEHICLES –**

1. Automobiles, trucks, recreational vehicles and motorcycles;
2. Golf carts, both gas combustion and battery operated;
3. Boats and boat trailers; and
4. Food trucks and any and all commercial vehicles.

LPEISD will tow illegally parked vehicles on LPEISD owned property in strict compliance with F.S. 715.07, a copy of which is attached and incorporated herein by reference as Exhibit "A".

Towing companies utilized by LPEISD shall be properly licensed and insured pursuant to applicable Florida law. The towing company's name, address and telephone number will be kept on file at the District's main office as well as the on-site staff office and will be readily provided to anyone whose vehicle has been towed from District property.

The towing service bears sole responsibility for any damage to vehicles sustained during the tow, transport, and storage process.

The LPEISD Board of Supervisors and the District's management company shall have the authority to grant special permission for vehicles to park in violation of this policy provided such parking is part of special events and activities or construction activity approved by the LPEISD Board of Supervisors.

Select Year: 2022 ▼ 

## The 2022 Florida Statutes (including 2022 Special Session A and 2023 Special Session B)

### Title XL

#### REAL AND PERSONAL PROPERTY

### Chapter 715

#### PROPERTY: GENERAL PROVISIONS

[View Entire Chapter](#)

#### **715.07 Vehicles or vessels parked on private property; towing.—**

(1) As used in this section, the term:

- (a) "Vehicle" means any mobile item which normally uses wheels, whether motorized or not.
- (b) "Vessel" means every description of watercraft, barge, and airboat used or capable of being used as a means of transportation on water, other than a seaplane or a "documented vessel" as defined in s. 327.02.

(2) The owner or lessee of real property, or any person authorized by the owner or lessee, which person may be the designated representative of the condominium association if the real property is a condominium, may cause any vehicle or vessel parked on such property without her or his permission to be removed by a person regularly engaged in the business of towing vehicles or vessels, without liability for the costs of removal, transportation, or storage or damages caused by such removal, transportation, or storage, under any of the following circumstances:

(a) The towing or removal of any vehicle or vessel from private property without the consent of the registered owner or other legally authorized person in control of that vehicle or vessel is subject to substantial compliance with the following conditions and restrictions:

1.a. Any towed or removed vehicle or vessel must be stored at a site within a 10-mile radius of the point of removal in any county of 500,000 population or more, and within a 15-mile radius of the point of removal in any county of fewer than 500,000 population. That site must be open for the purpose of redemption of vehicles on any day that the person or firm towing such vehicle or vessel is open for towing purposes, from 8:00 a.m. to 6:00 p.m., and, when closed, shall have prominently posted a sign indicating a telephone number where the operator of the site can be reached at all times. Upon receipt of a telephoned request to open the site to redeem a vehicle or vessel, the operator shall return to the site within 1 hour or she or he will be in violation of this section.

b. If no towing business providing such service is located within the area of towing limitations set forth in sub-subparagraph a., the following limitations apply: any towed or removed vehicle or vessel must be stored at a site within a 20-mile radius of the point of removal in any county of 500,000 population or more, and within a 30-mile radius of the point of removal in any county of fewer than 500,000 population.

2. The person or firm towing or removing the vehicle or vessel shall, within 30 minutes after completion of such towing or removal, notify the municipal police department or, in an unincorporated area, the sheriff, of such towing or removal, the storage site, the time the vehicle or vessel was towed or removed, and the make, model, color, and license plate number of the vehicle or description and registration number of the vessel and shall obtain the name of the person at that department to whom such information was reported and note that name on the trip record.

3. A person in the process of towing or removing a vehicle or vessel from the premises or parking lot in which the vehicle or vessel is not lawfully parked must stop when a person seeks the return of the vehicle or vessel. The vehicle or vessel must be returned upon the payment of a reasonable

service fee of not more than one-half of the posted rate for the towing or removal service as provided in subparagraph 6. The vehicle or vessel may be towed or removed if, after a reasonable opportunity, the owner or legally authorized person in control of the vehicle or vessel is unable to pay the service fee. If the vehicle or vessel is redeemed, a detailed signed receipt must be given to the person redeeming the vehicle or vessel.

4. A person may not pay or accept money or other valuable consideration for the privilege of towing or removing vehicles or vessels from a particular location.

5. Except for property appurtenant to and obviously a part of a single-family residence, and except for instances when notice is personally given to the owner or other legally authorized person in control of the vehicle or vessel that the area in which that vehicle or vessel is parked is reserved or otherwise unavailable for unauthorized vehicles or vessels and that the vehicle or vessel is subject to being removed at the owner's or operator's expense, any property owner or lessee, or person authorized by the property owner or lessee, before towing or removing any vehicle or vessel from private property without the consent of the owner or other legally authorized person in control of that vehicle or vessel, must post a notice meeting the following requirements:

a. The notice must be prominently placed at each driveway access or curb cut allowing vehicular access to the property within 10 feet from the road, as defined in s. 334.03(22). If there are no curbs or access barriers, the signs must be posted not fewer than one sign for each 25 feet of lot frontage.

b. The notice must clearly indicate, in not fewer than 2-inch high, light-reflective letters on a contrasting background, that unauthorized vehicles will be towed away at the owner's expense. The words "tow-away zone" must be included on the sign in not fewer than 4-inch high letters.

c. The notice must also provide the name and current telephone number of the person or firm towing or removing the vehicles or vessels.

d. The sign structure containing the required notices must be permanently installed with the words "tow-away zone" not fewer than 3 feet and not more than 6 feet above ground level and must be continuously maintained on the property for not fewer than 24 hours before the towing or removal of any vehicles or vessels.

e. The local government may require permitting and inspection of these signs before any towing or removal of vehicles or vessels being authorized.

f. A business with 20 or fewer parking spaces satisfies the notice requirements of this subparagraph by prominently displaying a sign stating "Reserved Parking for Customers Only Unauthorized Vehicles or Vessels Will be Towed Away At the Owner's Expense" in not fewer than 4-inch high, light-reflective letters on a contrasting background.

g. A property owner towing or removing vessels from real property must post notice, consistent with the requirements in sub-subparagraphs a.-f., which apply to vehicles, that unauthorized vehicles or vessels will be towed away at the owner's expense.

A business owner or lessee may authorize the removal of a vehicle or vessel by a towing company when the vehicle or vessel is parked in such a manner that restricts the normal operation of business; and if a vehicle or vessel parked on a public right-of-way obstructs access to a private driveway the owner, lessee, or agent may have the vehicle or vessel removed by a towing company upon signing an order that the vehicle or vessel be removed without a posted tow-away zone sign.

6. Any person or firm that tows or removes vehicles or vessels and proposes to require an owner, operator, or person in control or custody of a vehicle or vessel to pay the costs of towing and storage before redemption of the vehicle or vessel must file and keep on record with the local law enforcement agency a complete copy of the current rates to be charged for such services and post at the storage site an identical rate schedule and any written contracts with property owners, lessees, or persons in control of property which authorize such person or firm to remove vehicles or vessels as provided in this section.

7. Any person or firm towing or removing any vehicles or vessels from private property without the consent of the owner or other legally authorized person in control or custody of the vehicles or vessels shall, on any trucks, wreckers as defined in s. 713.78(1)(c), or other vehicles used in the towing or

removal, have the name, address, and telephone number of the company performing such service clearly printed in contrasting colors on the driver and passenger sides of the vehicle. The name shall be in at least 3-inch permanently affixed letters, and the address and telephone number shall be in at least 1-inch permanently affixed letters.

8. Vehicle entry for the purpose of removing the vehicle or vessel shall be allowed with reasonable care on the part of the person or firm towing the vehicle or vessel. Such person or firm shall be liable for any damage occasioned to the vehicle or vessel if such entry is not in accordance with the standard of reasonable care.

9. When a vehicle or vessel has been towed or removed pursuant to this section, it must be released to its owner or person in control or custody within 1 hour after requested. Any vehicle or vessel owner or person in control or custody has the right to inspect the vehicle or vessel before accepting its return, and no release or waiver of any kind which would release the person or firm towing the vehicle or vessel from liability for damages noted by the owner or person in control or custody at the time of the redemption may be required from any vehicle or vessel owner or person in control or custody as a condition of release of the vehicle or vessel to its owner or person in control or custody. A detailed receipt showing the legal name of the company or person towing or removing the vehicle or vessel must be given to the person paying towing or storage charges at the time of payment, whether requested or not.

(b) These requirements are minimum standards and do not preclude enactment of additional regulations by any municipality or county including the right to regulate rates when vehicles or vessels are towed from private property.

(3) This section does not apply to law enforcement, firefighting, rescue squad, ambulance, or other emergency vehicles or vessels that are marked as such or to property owned by any governmental entity.

(4) When a person improperly causes a vehicle or vessel to be removed, such person shall be liable to the owner or lessee of the vehicle or vessel for the cost of removal, transportation, and storage; any damages resulting from the removal, transportation, or storage of the vehicle or vessel; attorney's fees; and court costs.

(5)(a) Any person who violates subparagraph (2)(a)2. or subparagraph (2)(a)6. commits a misdemeanor of the first degree, punishable as provided in s. 775.082 or s. 775.083.

(b) Any person who violates subparagraph (2)(a)1., subparagraph (2)(a)3., subparagraph (2)(a)4., subparagraph (2)(a)7., or subparagraph (2)(a)9. commits a felony of the third degree, punishable as provided in s. 775.082, s. 775.083, or s. 775.084.

History.—s. 1, ch. 76-83; s. 221, ch. 77-104; s. 2, ch. 79-206; s. 2, ch. 79-271; s. 2, ch. 79-410; s. 1, ch. 83-330; s. 51, ch. 87-198; s. 3, ch. 88-240; s. 9, ch. 90-283; s. 839, ch. 97-102; s. 18, ch. 2001-64; s. 5, ch. 2005-137; s. 11, ch. 2006-172; s. 10, ch. 2014-70; s. 7, ch. 2020-174.

## Tab 9





Rizzetta & Company

**UPCOMING DATES TO REMEMBER**

- **Next Meeting:** April 20, 2023 @ 6:30 PM

**District  
Manager's  
Report**

March 16

**2023**

**FINANCIAL SUMMARY**

**2/28/2023**

General Fund Cash & Investment Balance:	\$820,400
Reserve Fund Cash & Investment Balance:	<u>\$388,892</u>
<b>Total Cash and Investment Balances:</b>	<b>\$1,209,292</b>
<b>General Fund Expense Variance: \$100,224</b>	<b>Under Budget</b>

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